

# INSPECTION REPORT

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215 Elk Ridge Road, Bozeman, MT 59718



**Inspection Date**

Friday, March 26, 2021

**Report Number**

210326

**Prepared For**

David & Heidi Eastwood

**Prepared By**

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**Inspector**

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**Montana Registration #**

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**Inspector Signature**

A handwritten signature in black ink that reads "Mark Gilbertson".



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# SUMMARY

## Important

This summary section is not the entire inspection report. The report that follows includes photos and additional information of concern to the client. It is recommended that the client read the report in its entirety.

Other items that may be noted should receive eventual attention, but do not affect the habitability of the house. The majority of issues are the result of normal wear and tear.

## Major Concerns

None Apparent

## Potential Safety Hazards

The dishwasher drain line was not looped or air gapped.

I was unable to determine if the Corrugated Stainless Steel gas lines were bonded.

The unfinished basement area with the small overhead door did not have a fire separation walls and doors . This area should not be utilized to store volatile materials, lawnmowers etc.

Electrical cover plates were missing from the water heater and some switch and receptacles.

The electrical sub panel does not appear to be properly bonded to a ground rod which is required when installed in a separate Building.

The following locations were missing Ground Fault Circuit Interrupter (GFCI) protection:

- Exterior outlets
- Kitchen circuits
- Garage areas
- Grinder pump
- Unfinished basement areas

## Improvement Items

North hose bib should be secured

Some weather stripping on exterior door should be replaced

South and North garage doors and openers were in need of adjustment

There was a broken window sash on the garage

Recommend additional insulation and venting for the garage attic

Some toilet valves should be replaced due to leakage and low flow

A flexible pipe was used in the downstairs bathroom drain

Exhaust fans are recommended for bathrooms with shower and bath tubs to remove moisture

The water heater low voltage wires were not protected

## Deferred Cost Items

All operating systems in homes have an average life expectancy. These item(s) were functional but it is recommended that you budget for the potential of replacement in the near future:

- Indirect water heater - 20-year useful life

These item(s) were functional but it is recommended that you determine current age and if necessary budget for the potential of replacement in the near future:

- Submersible Well Pump - 17 to 25 years useful life.
- Grinder/Sanitary Pump - 8 to 10 years useful life.

# SUMMARY

## Items Not Operating

Auxiliary Oven

## Items to Monitor | Investigate

Ask seller the reason the Subterranean/French drains were disconnected on the west side of home

The French drain system adjacent to the foundation was not tested. This should be monitored for proper operation.

Obtain instruction on proper operation and maintenance of the radiant heating system.

There was a patched area on the roof that was adequately sealed. Recommend verifying reason for the patch and obtain documentation of the work completed for warranty issues.

The clearance label of the garage wood stove was not visible due to wall clearance. I was unable to verify if the wood stove clearances were satisfactory. Recommend that home buyer fully verify wood stove specifications and operation based on manufacturer's specifications.

When buying a home with a solid fuel stove, an NFPA Level 1 chimney inspection is recommended. This level of chimney inspection includes a cleaning and a comprehensive picture of their chimney system. The seller indicated that this work was completed. Documentation of the work completed should be obtained.

## General Comments

The Southeast basement bedroom did not have windows but had a secondary exit via a door to the unfinished basement area. The access to this area means that flammable and volatile materials should not be stored in that area due to fire and fumes infiltration concerns. If the unfinished area is converted to a garage, a fire separation wall should be installed and the door to the bedroom sealed off. Therefore, a garage conversion would eliminate a secondary egress means so the room could not be utilized as bedroom in that situation.

Log homes typically settle over time. Slight misalignment of doors and windows are typical and do not constitute major defects. The exterior wood finish coating should be identified from the seller to ensure that the chemical compound and manufacturer's recommendations are followed when refinishing in the future.

**Electrical**—Issues listed may not include all deficiencies. When further review is recommended, a licensed electrician should fully evaluate electrical aspects for proper installation, safety and operation.

For clarity, common lay terms are used in this report in lieu of NEC terminology:

MAIN PANEL—Service Entrance Panel

HOT WIRE—Ungrounded Conductor

SUB PANEL—Panelboard

NEUTRAL WIRE—Grounded Conductor

OUTLET—Fixture, Receptacle or Junction Box

GROUND WIRE—Grounding Conductor

**Maintenance**—As with any home, general maintenance is and always will be required. Preventive maintenance can extend the life of equipment and materials which generally proves to be less expensive than replacing these components.

**Repairs**—Major or complex repairs should be conducted by a licensed contractor and receipts obtained. This will ensure that the work was completed to current standards, local building codes, and warrantied accordingly.

Note: When discussing the recommendations with a contractor, counter opinions may be offered. Local codes and interpretations do vary. If contrary to this document, it is recommended that you obtain documentation justifying counter recommendation(s) or a signed statement from their organization accepting liability.

**Radon**—The radon level of the home was measured at 1.3 pCi/L which is below the EPA concern level of 4 pCi/L. The home does not need to be mitigated per EPA protocol for a real estate purchase.

**Thermal Photography**—Thermal images found in this report are for illustrative purposes only. Temperature readings are approximate. No thermographic evaluations were conducted or implied

# OVERVIEW

## Scope of Inspection

This is a VISUAL INSPECTION based upon the experience and opinion of the inspector and not meant to be technically exhaustive. Not all improvements will be identified so unexpected repairs should be anticipated. It is the goal of this inspection to put a home buyer in a better position to make a buying decision. Please see the ASHI Standards of Practice provided to you for additional details.

### SYSTEMS AND COMPONENTS ARE RATED AS FOLLOWS:

**Satisfactory** – The component is functionally consistent with its original purpose but may show signs of deterioration and normal wear and tear.

**Marginal or Verify** – The component has notable issues and will probably require repair soon after you move in or replacement within five years. A notable issue or condition could not be determined and should be addressed.

**Poor** – The component will need repair or replacement now or in the very near future.

**Safety Hazard** **Structural Issue** – A condition that is unsafe and in need of prompt attention.

**Action Items** – A situation or action item that the seller or buyer should be aware of and consider addressing.

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## Age of Structure (Approximate)

12 Years Old

## Square Footage

4321

## Bedrooms

43

## Bathrooms

2

## Main Entrance Faces

North

## State of Occupancy

Occupied

## Weather Conditions

Partly Cloudy

## Ground Cover

Residual Snow Cover

# GROUNDS

## Notes | Limitations

As discussed, and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Limited access below deck and Porch

The following were not a feature of the home or property:

- Fence maintained by the property owner
- Porch
- In-ground sprinkler system

## Driveway | Parking

### Material

Concrete

### Condition

Marginal



### Comments

Recommend filling/sealing cracks to minimize water entering and freezing.

## Service Walks

### Material

Concrete

### Condition

Marginal



### Comments

The walkway had some minor cracking. Recommend filling cracks to minimize water entering and freezing.



# GROUND S

## Stoops | Steps

### Material

Concrete

### Condition

Satisfactory

## Porch

### Support Pier

Wood

### Foundation

Not Visible

### Floor

Wood

### Condition

Satisfactory



### Comments

The underside of porch was not fully visible. No representation is made regarding hidden areas.

## Deck

### Structure

Wood

### Decking

Wood

### Finish

Stain

### Flashing

Marginal

### Stairs

Satisfactory

### Handrails

Satisfactory

### Guardrails

Satisfactory

### Balusters

Satisfactory

### Attachment

#### Ledger

Satisfactory

#### Stairway | Stringers

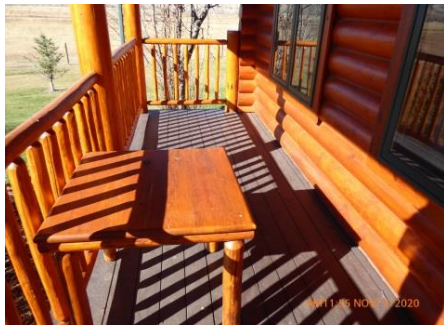
Satisfactory

#### Handrails

Satisfactory

#### Guardrails

Satisfactory





# GROUND S



## Comments

The underside of porch was not fully visible. No representation is made regarding hidden areas.  
The ledger board was not flashed. This can cause premature decay. Recommend adding flashing.

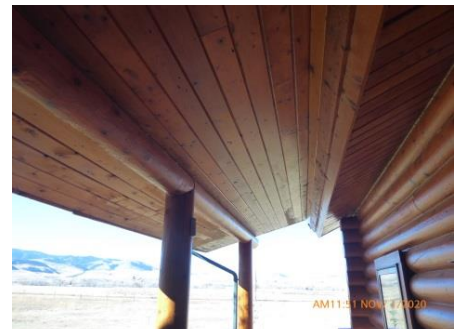
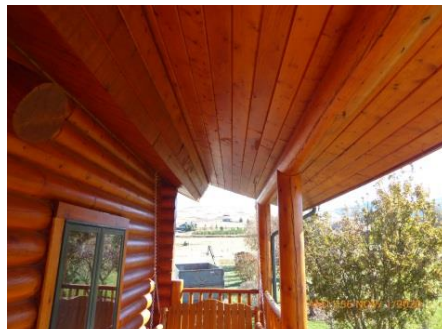
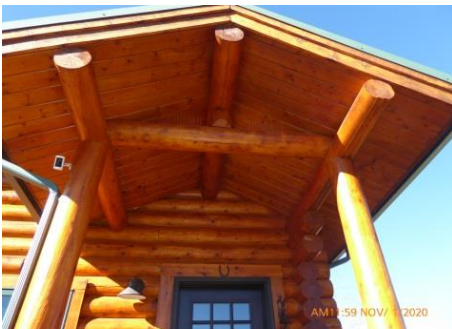
## Coverings

### Location | Description

Front Porch

### Condition

Satisfactory





# GROUND S

## Landscaping Affecting Foundation

Landscaping

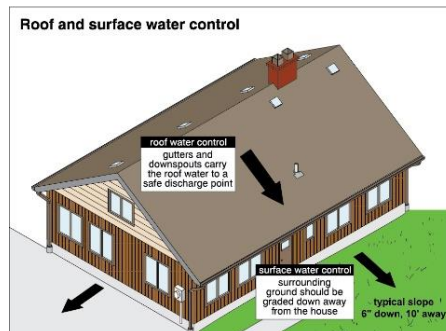
Satisfactory

Grade

Marginal

Negative Grade

East



Recommendations

### Comments

Negative grade areas adjacent to the foundation had a drainage system installed. The system configuration was unknown but assumed to be a French style drain. Recommend monitoring for proper drainage. No representation is made as to proper function.

The ground should slope away from the house at a rate of 1" per 12" for at least the first 10 feet. Allow at least 6" of clearance between soil level and the bottom of exterior wall siding.

## Hose Bibbs

North

Marginal

South

Satisfactory

Well Hydrant

Satisfactory



### Comments

The north hose bibb was loose and should be secured.

# GROUNDS

## Retaining Walls

### Material

Concrete

### Condition

Satisfactory



# ROOF

## Notes | Limitations

While I did walk the roof and valleys, certain sections were not safely accessible. Those areas were viewed from a distance and/or with optics but some sections were not completely visible. No representation was made as to the condition of these areas.

The following features were not on the roof:

- Skylights
- Radon Exhaust

The roof inspection was not a guarantee against future leaking.

## Style(s)

Configuration	Pitch	Layers	Age (Approximate)
Gable	Medium	1	10
Shed	Medium	1	10

## Material

Metal

## Ventilation System

### Type

None

## Comments

Roof ventilation was not observed on the home. It is assumed that closed cell foam insulation was utilized and therefore not needed. Recommend verifying with seller.

## Flashing | Sealing

### Material

Aluminum

### Details

Partially Visible

### Condition

Satisfactory





# ROOF

## Valleys

### Material

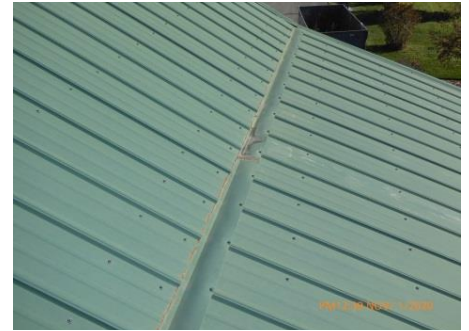
Aluminum

### Details

Partially Visible

### Condition

Satisfactory



## Plumbing Vents | Penetrations

### Flashing Material

Aluminum

EPDM Boot

### Details

Partially Visible

### Condition

Satisfactory



## Roof Covering(s)

### Visibility

Partial

### Viewed From

Roof

### Condition

Satisfactory





# ROOF



## Comments

Roof was showing normal wear with minor rusting on the cut edges. I did not observe any major issues.

There was a patched area on the roof that was adequately sealed. Recommend verifying reason for the patch and obtain documentation of the work completed for warranty issues.

# EXTERIOR

## Notes | Limitations

The following features were not on the home:

- A/C Compressor Unit
- Masonry Chimney

## Foundation

### Material

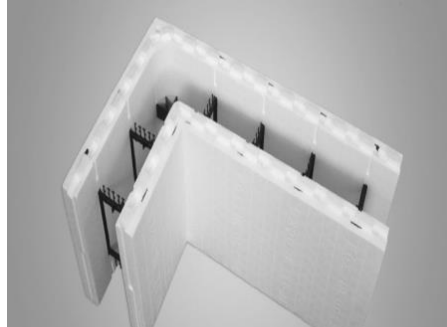
Insulated Concrete  
Forms

### Details

Partially Visible

### Condition

Satisfactory



Fill cracks in rock veneer



Seal all penetrations

## Comments

Recommend caulking around the following: (Avoid spray foam if exposed to UV light.)

- Rock Veneer
- Utility Penetrations

## Exterior Doors

### Main Entrance

Satisfactory

### Weather Stripping

Marginal

### Patio

Satisfactory

### Weather Stripping

Marginal

### Side

Satisfactory

### Weather Stripping

Satisfactory

# EXTERIOR



## Comments

The patio door weather stripping was damaged . Recommend replacing for energy efficiency.

## Windows | Screens

**Window Frame Material**  
Vinyl

**Storm Windows**  
None

**Condition**  
Satisfactory

**Screen Frame**  
Aluminum

**Screen Material**  
Fiberglass Mesh

**Condition**  
Satisfactory



## Log Wall Construction | Penetrations

**Log Profile**  
Round Log

**Corner Style**  
Saddle-Notch

**Construction**  
Manufactured

**Chinking**  
Decorative

**Checking-Upper Quarter**  
Satisfactory

**Checking-Lower Quarter**  
Satisfactory

**Slope of Grain—Approx.**  
< 1:12

**Condition**  
Satisfactory

**Decay Observed**  
No

**SEALING—Butt Joint**  
Satisfactory

**—Windows | Doors**  
Satisfactory

**—Wall Penetrations**  
Marginal

**End Grain Sealer Condition**  
Satisfactory

**Upward-Checking Filled**  
Yes

**Wood Destroying Insects**

**Evidence of Damage**  
No





# EXTERIOR



## Comments

A log home structure must be evaluated every year to monitor for weathering and separation. Recommend sealing cracks on the upper surfaces of logs which do not allow water to drain effectively . Staining on a regular basis with high quality materials is also necessary to ensure a long life. The exterior wood finish coating should be identified from the seller to ensure that the chemical compound and manufacturer's recommendations are followed when refinishing in the future.

Settlement is a natural process in log homes. Throughout the seasons, the logs will expand and contract and the home builder has added allowances for natural movement and settlement. Screw jacks are typically installed to allow for adjustments as needed. Obtaining education and training relating to log home maintenance is highly recommended.

I did not observe abnormal settling or movement. Continue to monitor.

Recommend caulking around the following: (Avoid spray foam if exposed to UV light.)

- Trim
- Corners
- Utility Penetrations
- Doors/Windows as recommended by manufacturer

## Trim

### Material

Wood

### Details

Partially Visible

### Condition

Satisfactory





# EXTERIOR

## Flashing

### Material

Aluminum

### Details

Partially Visible

### Condition

Satisfactory

## Soffit | Eaves

### Material

Wood

T&G

### Details

Partially Visible

### Condition

Satisfactory



## Fascia

### Material

Wood

### Details

Partially Visible

### Condition

Satisfactory



## Gutters | Downspouts

### Material

Aluminum

### Attachment

Satisfactory

### Leaks

None Observed

### Condition

Satisfactory

### Downspouts

Aluminum

### Attachment

Marginal

### Extensions

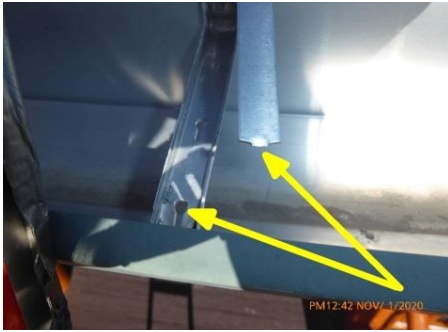
Marginal

### Condition

Satisfactory



# EXTERIOR



## Comments

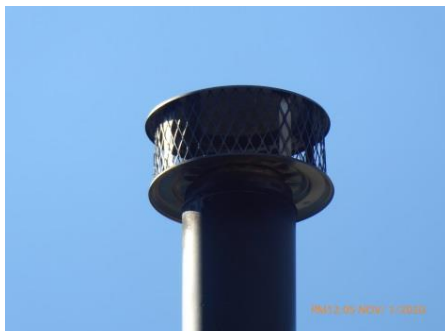
Some gutters had loose straps/spikes. Recommend securing for proper support.

Gutter downspouts appeared to be designed with a subterranean drainage system (French drain or similar). This type of downspout design does not utilize above ground downspout extensions. I was unable to confirm the existing configuration. Verify with seller.

Some downspouts discharge underground. Unable evaluate below ground configuration and termination point. No representation is made. Downspouts that discharge below grade level should be monitored. If they are ever suspected to be clogged or disconnected below grade, they should be redirected to discharge at least five (5) feet from the building. Foundation leakage adjacent to a downspout is an indication of a problem below grade.

## Chimney

Location	Flue	Chase	Condition
Middle of Roof	Not Visible	Metal	Satisfactory
Rain Cap	Spark Arrestor	Visible Flashing	Condition
Yes	Yes	Aluminum	Satisfactory
Viewed From			Condition
Roof			Satisfactory



# EXTERIOR

## Electrical Service Entry

### Configuration

Underground (Lateral)

### Grounding Electrode

Not Visible

### Clearances

Satisfactory

### Service Entry Condition

Satisfactory

### Wiring

Satisfactory

### Outlets

Satisfactory

### Receptacles

Marginal

### GFCI Protection

Safety Hazard



### Comments

North & East exterior GFCI receptacles did not trip with test button. Recommend a licensed electrician evaluate and replace.



# GARAGE

## Notes | Limitations

This is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Personal effects were stacked in garage limiting visibility.
- The garage walls were finished so structure was not visible. No representation is made as to the condition of these areas.



The following item(s) were not a feature of the garage

- Stairs/Steps
- Plumbed Sink
- Required Fire Separation Walls/Ceiling

## Siding

### Material

Same as House

### Condition

Satisfactory

## Trim | Fascia

### Material

Same as House

### Condition

Satisfactory

## Roof | Gutters

### Material

Metal

### Roof | Flashing Condition

Satisfactory

### Gutter Condition

Satisfactory

### Downspout Condition

Satisfactory



## Exterior Service Door

### Door

Satisfactory

### Frame

Satisfactory

### Weatherstripping

Satisfactory

### Hardware

Satisfactory



# GARAGE

## Windows | Penetrations

### Materials

Same as House

### Window Condition

Satisfactory

### Screen Condition

Satisfactory

## Floor | Foundation

### Material

Poured Concrete

### Details

Partially Visible

### Condition

Satisfactory

## Drains | Plumbing

### Drain

Yes

### Condition

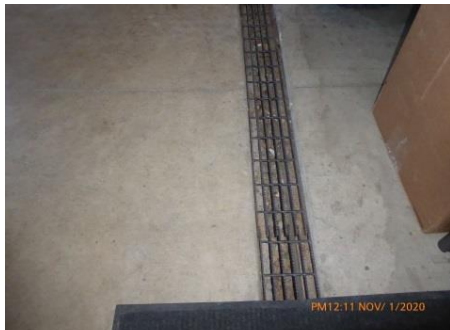
Not Tested

### Utility Sink

No

### Plumbing Leaks

None Observed



### Comments

The garage drains were not tested.

## Sill Plates | Non-separation Walls

### Type

Elevated

### Details

Partially Visible

### Condition

Satisfactory

### Wall Condition

Satisfactory

## Overhead Door(s)

### Material

Metal

### Door Condition

Marginal

### Door Frame Condition

Satisfactory

### Weather Stripping

Satisfactory



### Comments

There was minor cosmetic damage on the overhead doors. Function was not affected.

# GARAGE

## Automatic Opener Function

### Safety Reverse Mechanism

Photo Cells

### Function

Marginal

### Pressure Reverse Backup

Satisfactory

### Emergency Release

Yes



### Comments

The north and south garage doors did not close properly with the automatic opener. Recommend adjustment.

## Electrical

### Wiring

Satisfactory

### Outlets

Satisfactory

### Receptacles

Safety Hazard

### GFCI Protection

Safety Hazard



### Comments

There was not GFCI protection in garage. The installation of ground fault circuit interrupter protection is recommended in garage locations.

A receptacle did not have a cover. Recommend adding for safety from electric shocks.

# INTERIOR

## Notes | Limitations

The home was furnished. There were some restrictions of visibility.

No representation can be made as to proper installation of ceiling fans.

The following were not present in home:

- Attic
- Upper-level Stairs
- Radon mitigation system
- Central Air Conditioning
- Forced air furnace

Based on a visual examination of a representative number of windows appear to be in satisfactory condition.

No representation is made as to the proper installation of ceiling fans.

Multi-pane window seals can fail which can result in fogging at times due to interior and exterior temperature differentials. If fogging is observed it will be noted. However, since this is a visual inspection no representation is made as to the current condition of the home's window seals.

## Hallways | Foyer

### Wall | Ceiling

Satisfactory

### Floor

Satisfactory

### Doors | Windows

Satisfactory

### Electrical Outlets

Satisfactory

## Log Wall Construction

### Moisture Stains

No

### Butt Joint Sealing

Satisfactory

### Windows | Doors

Satisfactory

### Wall Penetrations

Satisfactory

### Loft

No

### Beams

Satisfactory

### Posts

Satisfactory

### Settlement

Satisfactory

### Screw Jack Locations

### Post Top

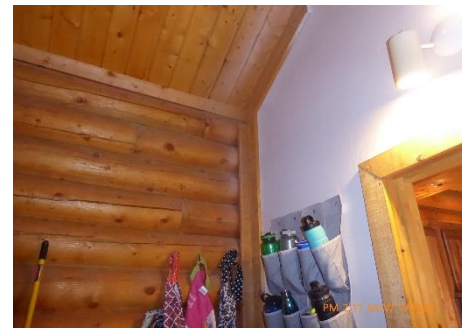
Not Visible

### Post Base

Not Visible

### Sill

Not Visible





# INTERIOR



## Comments

Interior insulation was not observed.

Note: The insulation value (R-Value) of solid wood walls is inferior to a conventional 6" stud wall. Based on this, log walls do not satisfy most building code energy standards. However, log walls have the ability to store heat which can many times result in comparable overall energy efficiency.

## Windows | Interior Overall

### Windows

Satisfactory

### Frames

Wood

### Condition

Satisfactory

### Hardware

Satisfactory



## Comments

Based on a visual examination of a representative number of windows appear to be in satisfactory condition.

Multi-pane window seals can fail which can result in fogging at times due to interior and exterior temperature differentials. If fogging is observed it will be noted. However, since this is a visual inspection no representation is made as to the current condition of the home's window seals.

## Smoke Detectors

### Present All Levels

Yes

### All Operable w/Test Button

No

### Condition

Safety Hazard





# INTERIOR



## Comments

At least one smoke alarm was not observed where needed. Recommend additional devices be installed to State of Montana recommendations. For enhanced safety it is recommended that a photoelectric smoke alarms be used.

At least one smoke alarm did not signal when test button was pressed. Recommend repair or replacement with a photoelectric smoke alarm.

The State of Montana requires that all single family and 2-unit homes install smoke detectors outside of each separate sleeping area in the immediate vicinity of the bedrooms. For enhanced safety it is recommended that a smoke alarm be placed in each bedroom

## Carbon Monoxide Alarms

Present All Sleeping Areas	All Operable w/Test Button	Condition
No	N/A	Safety Hazard

## Comments

Carbon Monoxide detectors were not observed. A CO detector should be installed outside of each sleeping area (within 10') of each sleeping area.

The State of Montana recommends that all single family and 2-unit homes with fuel-fired appliances or having attached garages; install CO Alarms outside of each separate sleeping area in the immediate vicinity of the bedroom.

## Gas Fireplace

### Notes | Limitations

Gas fireplaces can only be fully tested by a qualified technician. The unit was inspected for condition, proper installation and clearances but was not fully evaluated. As per our standards of practice, the inspector does not ignite solid fuel fireplaces during inspections.

Location	Energy Source	Unit Type	Controls
Living Room	Gas	Metal - Pre-fabricated	Thermostat
Damper Operable	Blower	Blower Operable	Clearance to Combustibles
N/A	Yes	Not Activated	Satisfactory
Hearth Extension Suitable	Mantle Secure	Operation	Physical Condition
Yes	Yes	Satisfactory	Marginal

# INTERIOR



## Comments

The gas fireplace was a direct vent, sealed unit. Interior components were not evaluated.  
The access door panel did not attach properly. Recommend repair or replacement.



# INTERIOR

## Attic 1 Structure | Framing | Insulation

### Notes | Limitations

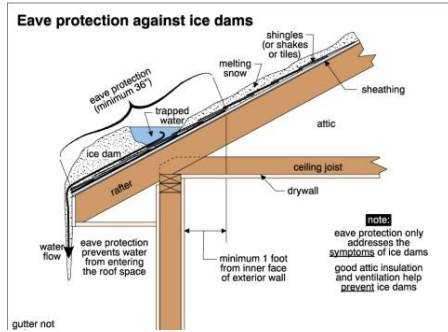
Some areas of attic were not visible. No representation is made as to the condition of these areas.

<b>Location</b> Garage	<b>Inspected From</b> Attic	<b>Flooring</b> None	<b>Ceiling Joists</b> Not Visible
<b>Roof Structure</b> Wood Trusses	<b>Sheathing</b> OSB	<b>Structural Problems Visible</b> No	<b>Ventilation</b> Marginal
<b>Baffles at Soffits</b> Yes	<b>Leaking Observed</b> No	<b>Condensation Evidence</b> No	<b>Moisture Evidence</b> No
<b>Fans Exhausting into Attic</b> Not Visible	<b>HVAC Ducts Observed</b> No	<b>Chimney Observed</b> No	<b>Exhaust Chase Observed</b> No
<b>Insulation Material</b> Batt	<b>Type</b> Fiberglass	<b>Est. Depth (Inches)</b> 8	<b>Condition</b> Satisfactory
<b>Insulation Location</b> Between Ceiling Joists	<b>Vapor Barrier</b> Not Visible	<b>Electrical</b> No Visible Defects	<b>Separation Between Units</b> N/A

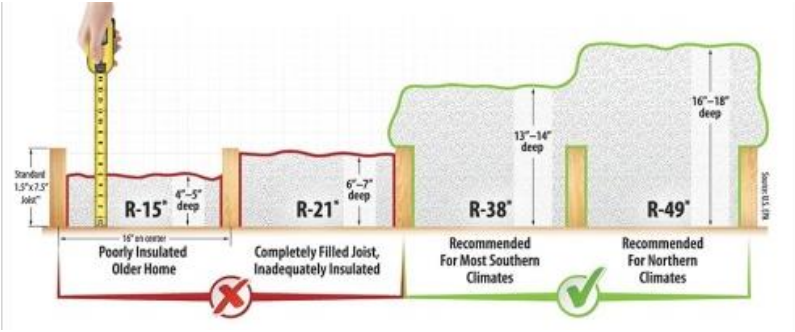




# INTERIOR



*Ice Dams*



*Living Space Insulation Values*

## Comments

Some insulation was missing. Recommend installing for energy efficiency.

The attic had baffle vents but was not vented. Recommend adding soffit and roof venting to minimize likelihood of ice damming and attic condensation caused by the heated garage space.

# KITCHEN

## Notes | Limitations

The dishwasher was cycled on the quick/rinse cycle to check operation and to identify any leakage. Each cycle and feature of the unit was not tested and beyond the scope of this evaluation.

Gas appliances should be serviced annually.

The appliance testing was performed as a courtesy and should not be considered as technically exhaustive. It is recommended that you spend time in the home before closing to see if the appliance operation is to your liking. It is also important to obtain any available operation manuals.

If future operation of the kitchen appliances is a concern, we recommend that you invest in a home warranty policy designed for repair or replacement of the mechanical item. Our service is NOT a home warranty.

## Range

### Cooktop Function

Satisfactory

### Oven Function

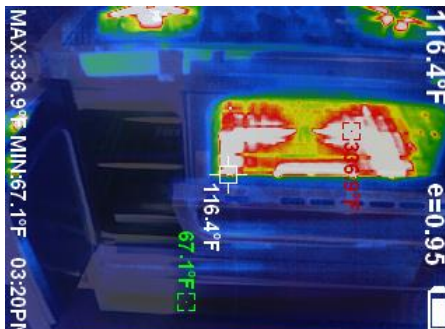
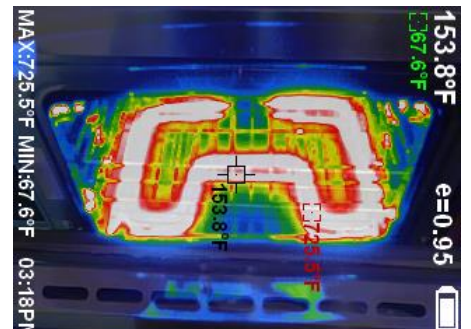
Marginal

### Overall

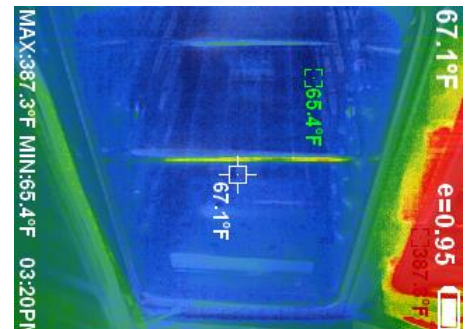
Satisfactory

### Anti-tip Bracket

Satisfactory



Auxiliary Oven on Left



Auxiliary oven thermal image

## Comments

The auxiliary oven did not operate properly. Recommend investigation and repair if necessary.

## Microwave

### Function

Satisfactory

### Details

Neon Tester Used



# KITCHEN

## Exhaust Fan

Function

Satisfactory

Vented to Exterior

No



### Comments

The current exhaust fan is a filtered recirculating design that vents into the kitchen rather than the exterior. Gas ranges burn natural gas producing waste products that can be hazardous to your health. Carbon monoxide is an odorless gas that is absorbed into the blood stream more quickly than oxygen. It can easily overcome a person who is unaware of the presence of these fumes.

To reduce fumes from gas ranges, open windows slightly to allow the flow of fresh air for ventilation. Install carbon monoxide alarms in your home to alert you to fume problems that may arise from the use of gas ranges and other appliance. The best solution is to install a vent to the exterior. Recommend removing filter and washing periodically to remove grease and particulates.

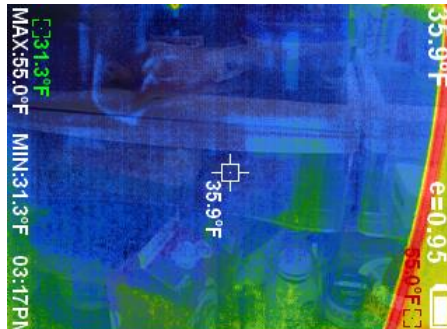
## Refrigerator

Function

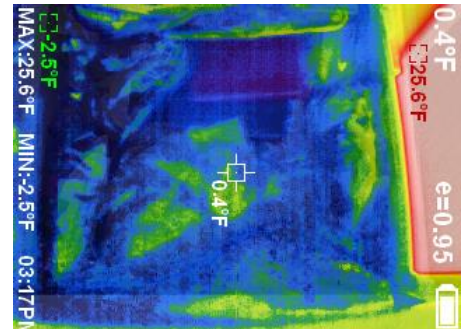
Satisfactory

Dispenser Function

Satisfactory



Refrigerator Temperature



Freezer Temperature





# KITCHEN

## Dishwasher

### Function

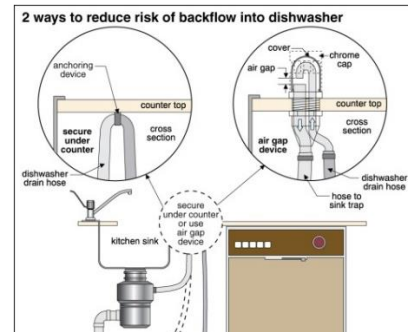
Satisfactory

### Drain Line Configuration

Direct Connection

### Drain Line Condition

Safety Hazard



### Comments

The dishwasher drain line was not looped beneath countertop. This is a cross connection concern which can siphon dirty water back into the dishwasher. Recommend looping to the highest point below counter top or provide an air gap.

## Disposal

### Function

Satisfactory



## Kitchen Plumbing

### Sink

Satisfactory

### Faucets

Satisfactory

### Functional Flow

Satisfactory

### Drainage

Satisfactory



# KITCHEN



## Kitchen Electrical

### Outlets

Satisfactory

### Switches

Satisfactory

### Receptacles

Satisfactory

### GFCI Protection

Marginal



### Comments

The kitchen had GFCI protected receptacles within 6' of water. Consider adding protection for garbage disposal and dishwasher circuits at a minimum and all servicing countertop surfaces. A GFCI offers increased protection from shock or electrocution.

## Kitchen Space

### Cabinets

Marginal

### Countertops

Satisfactory

### Windows

Satisfactory

### Doors

None

### Walls

Satisfactory

### Ceiling

Satisfactory

### Floors

Satisfactory

### Heating Source

Yes



### Comments

Recommend cabinet hinges be adjusted/tightened.

# LAUNDRY

## Notes | Limitations

Washers and dryers are considered personal property. These items have not been inspected or tested. If included with sale, confirm proper operation of plumbing and exterior venting at final walk through.

I did not observe any visible active piping leaks in the laundry at the time of the inspection. Water supply valves typically found behind the appliances were not operated. Personal items, clothing or furniture were generally not disturbed during the inspection and may have had limited accessibility and view for inspection.

First Floor Location

## Washer

**Present**  
Yes

**Hook-up Valves**  
Satisfactory

**Hook-up Lines**  
Marginal

**Gas Shut-off**  
Not Visible

## Dryer

**Present**  
Yes

**Vented**  
Wall

**To Exterior**  
Yes

**Venting Condition**  
Satisfactory

## Laundry Sink | Plumbing

**Sink Present**  
Yes

**Plumbing Leaks**  
No

**Cross Connections**  
No

**Condition**  
Satisfactory

## Laundry Space

**Cabinets | Countertops**  
Satisfactory

**Room Features**  
Satisfactory

**Outlets**  
Satisfactory

**GFCI Protection**  
Marginal



Braided Stainless Steel Hoses





# LAUNDRY



---

## Comments

Braided stainless steel hoses are recommended for washing machines to minimize the risk of ruptured of washer hoses which are always pressurized. Recommend installing.

For enhanced safety it is recommended that Laundry Areas have GFCI protection regardless of presence of a sink or distance from same.

# BATHROOMS

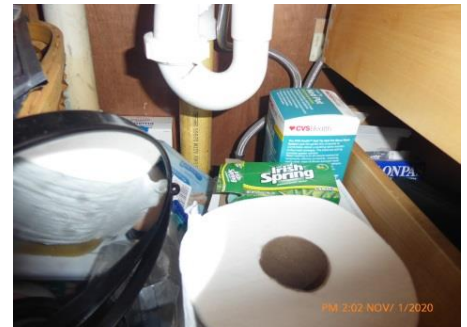
## Notes | Limitations

Unless noted below, I did not observe any visible active piping leaks at the time of the inspection. Water supply valves typically found below plumbing fixtures were not operated. If present, personal items were generally not disturbed during the inspection and may have had limited accessibility and view for inspection.

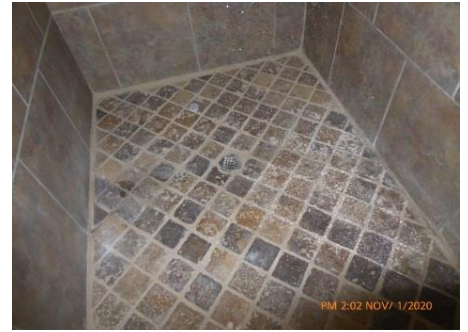
Fixtures were not filled to test overflow functions, which would be an unreasonable waste of water. Unless noted below, I did not see any signs of previous issues relating to the overflow. It is recommended that the tub be monitored while filling so as to not force the overflow into use. Gaskets that seal the overflow become dry with time and may no longer provide a watertight seal.

## Bathroom

<b>Description</b> Master Bath	<b>Location</b> First Floor	<b>Toilet</b> Marginal	<b>Sink</b> Satisfactory
<b>Tub</b> Satisfactory	<b>Shower</b> Satisfactory	<b>Tub   Shower Area</b> Fiberglass/Tile	<b>Condition</b> Satisfactory
<b>Fixture Drainage</b> Satisfactory	<b>Fixture Flow</b> Satisfactory	<b>Exhaust Fan</b> No	<b>Vented to Exterior</b> N/A
<b>Heating Source</b> Yes	<b>Outlets   Switches</b> Satisfactory	<b>Receptacles</b> Yes	<b>GFCI Protection</b> Satisfactory
<b>Cabinet   Countertops</b> Satisfactory	<b>Walls   Ceiling   Floors</b> Satisfactory	<b>Doors</b> Satisfactory	<b>Windows</b> Satisfactory
<b>Moisture Stains</b> None Observed	<b>Whirlpool</b> No	<b>GFCI Protection</b> N/A	<b>Condition</b> N/A



# BATHROOMS



## Comments

The toilet flushed slowly at the time of the inspection. Recommend adjustment and/or repair.

An exhaust fan was not installed in bathroom. Recommend installing to reduce moisture buildup from showers/baths.

## Half Bath

<b>Description</b> Half Bath	<b>Location</b> First Floor	<b>Toilet</b> Marginal	<b>Sink</b> Satisfactory
<b>Fixture Drainage</b> Satisfactory	<b>Fixture Flow</b> Satisfactory	<b>Exhaust Fan</b> Yes	<b>Vented to Exterior</b> Yes
<b>Heating Source</b> Yes	<b>Outlets   Switches</b> Satisfactory	<b>Receptacles</b> Yes	<b>GFCI Protection</b> Satisfactory
<b>Walls   Ceiling   Floors</b> Satisfactory	<b>Doors</b> Satisfactory	<b>Windows</b> Satisfactory	<b>Moisture Stains</b> None Observed
<b>Cabinet   Countertops</b> Satisfactory			



## Comments

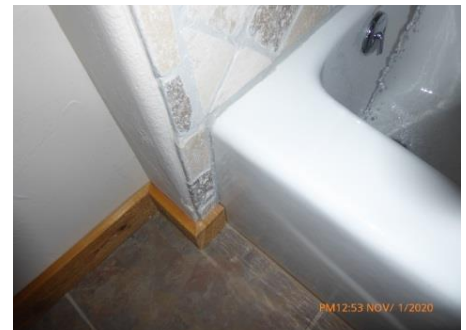
Toilet flush mechanism did not function properly. Recommend repair.



# BATHROOMS

## Bathroom

<b>Description</b> Full Bath	<b>Location</b> First Floor	<b>Toilet</b> Satisfactory	<b>Sink</b> Satisfactory
<b>Tub</b> Satisfactory	<b>Shower</b> Satisfactory	<b>Tub   Shower Area</b> Fiberglass/Tile	<b>Condition</b> Satisfactory
<b>Fixture Drainage</b> Marginal	<b>Fixture Flow</b> Satisfactory	<b>Exhaust Fan</b> Yes	<b>Vented to Exterior</b> Yes
<b>Heating Source</b> Yes	<b>Outlets   Switches</b> Satisfactory	<b>Receptacles</b> Yes	<b>GFCI Protection</b> Satisfactory
<b>Cabinet   Countertops</b> Satisfactory	<b>Walls   Ceiling   Floors</b> Satisfactory	<b>Doors</b> Satisfactory	<b>Windows</b> Satisfactory
<b>Moisture Stains</b> None Observed	<b>Whirlpool</b> No	<b>GFCI Protection</b> N/A	<b>Condition</b> N/A



## Comments

Flex pipe used for drain. This can cause premature clogging. Recommend straight tail piece to trap.

An exhaust fan was not installed in bathroom. Recommend installing to reduce moisture buildup from showers/baths.

# ROOMS

## Dining Room

<b>Location</b> First Floor	<b>Heating Source</b> Yes	<b>Moisture Stains</b> None Observed	
<b>Walls   Ceiling</b> Satisfactory	<b>Floors</b> Satisfactory	<b>Doors</b> None	<b>Windows</b> Satisfactory
<b>Ceiling Fan</b> No	<b>Outlets   Switches</b> Satisfactory	<b>Receptacles</b> Satisfactory	

## Living Room

<b>Location</b> First Floor	<b>Heating Source</b> Yes	<b>Moisture Stains</b> None Observed	
<b>Walls   Ceiling</b> Satisfactory	<b>Floors</b> Satisfactory	<b>Doors</b> None	<b>Windows</b> Satisfactory
<b>Ceiling Fan</b> Satisfactory	<b>Outlets   Switches</b> Satisfactory	<b>Receptacles</b> Satisfactory	

## Family Room

<b>Location</b> First Floor	<b>Heating Source</b> Yes	<b>Moisture Stains</b> None Observed	
<b>Walls   Ceiling</b> Satisfactory	<b>Floors</b> Satisfactory	<b>Doors</b> None	<b>Windows</b> Satisfactory
<b>Ceiling Fan</b> No	<b>Outlets   Switches</b> Satisfactory	<b>Receptacles</b> Satisfactory	

## Bedroom Master

<b>Location</b> First Floor	<b>Heating Source</b> Yes	<b>Moisture Stains</b> None Observed	<b>Egress</b> Satisfactory
<b>Walls   Ceiling</b> Satisfactory	<b>Floors</b> Satisfactory	<b>Doors</b> Satisfactory	<b>Windows</b> Satisfactory
<b>Ceiling Fan</b> Satisfactory	<b>Outlets   Switches</b> Satisfactory	<b>Receptacles</b> Satisfactory	

## Bedroom North

<b>Location</b> First Floor	<b>Heating Source</b> Yes	<b>Moisture Stains</b> None Observed	<b>Egress</b> Satisfactory
<b>Walls   Ceiling</b> Satisfactory	<b>Floors</b> Satisfactory	<b>Doors</b> Satisfactory	<b>Windows</b> Satisfactory
<b>Ceiling Fan</b> No	<b>Outlets   Switches</b> Satisfactory	<b>Receptacles</b> Satisfactory	

# ROOMS

## Bedroom East

<b>Location</b> First Floor	<b>Heating Source</b> Yes	<b>Moisture Stains</b> None Observed	<b>Egress</b> Satisfactory
<b>Walls   Ceiling</b> Satisfactory	<b>Floors</b> Satisfactory	<b>Doors</b> Satisfactory	<b>Windows</b> Satisfactory
<b>Ceiling Fan</b> No	<b>Outlets   Switches</b> Satisfactory	<b>Receptacles</b> Satisfactory	



### Comments

A closet door did not latch properly. Recommend repair.

## Bedroom West

<b>Location</b> First Floor	<b>Heating Source</b> Yes	<b>Moisture Stains</b> None Observed	<b>Egress</b> Safety Hazard
<b>Walls   Ceiling</b> Satisfactory	<b>Floors</b> Satisfactory	<b>Doors</b> Satisfactory	<b>Windows</b> None
<b>Ceiling Fan</b> No	<b>Outlets   Switches</b> Satisfactory	<b>Receptacles</b> Satisfactory	



### Comments

Note: The Southeast basement bedroom did not have windows but had a secondary exit via a door to the unfinished basement area. The access to this area means that flammable and volatile materials should not be stored in that area due to fire and fumes infiltration concerns.

If the unfinished area is converted to a garage, a fire separation wall should be installed and the door to the bedroom sealed off. Therefore, a garage conversion would eliminate a secondary egress means so the room could not be utilized as bedroom in that situation.



# BASEMENT

## Notes | Limitations

There was limited or no visibility of the foundation and utilities as portions of the basement walls and ceiling were covered with drywall and paneling. No representation can be made regarding the condition of hidden areas.

Personal items were stored in the basement blocking access and visibility to some areas. No representation is made as to condition of hidden areas.

The following were not visible or present in the basement:

- Girders
- Beams
- Radon Mitigation

## Access

Type	Location	Accessibility	Clearance
Full Basement	Interior	Safety Hazard	Satisfactory



Return Example

## Comments

A handrail return is recommended to prevent catching of clothing and loose articles while using stairs. Recommend installing for safety.

## Foundation | Exterior Walls

Material	Visibility	Condition	Separation Between Units
ICF	Partial	Satisfactory	N/A

## Floor

Material	Visibility	Condition
Concrete	Partial	Satisfactory

# BASEMENT

## Drainage

**Drain**  
No

**Standing Water**  
No

**Moisture Damage Signs**  
No

**Sump Pump**  
No



### Comments

The basement drain was not tested.

As stated in the standards of practice this inspector does not inspect the condition of any supply line or waste line from under the slab of the flooring or exterior of the foundation to the septic system including: Gas, water and or sewage. I cannot predict underground conditions and or pipe failure. If a more exhaustive evaluation is desired, it is recommended that a sewer line inspection: including Gas and Water be completed. This separate inspection will show the condition of the buried sewer line from the home to the septic system. Items such as tree roots, broken drain pipes, and other obstructions will be revealed

## Ventilation

**Method**

Conditioned Space

**Condition**

Satisfactory

**Radon Mitigation System**

No

**Type**

N/A

## Walls | Columns

**Wall Material**

Drywall

**Column Material**

Wood

**Condition of Visible Areas**

Satisfactory

**Seismic Bolts | Tie-downs**

Yes

## Joists | Subfloor

**Material**

Wood

**Type**

I-Joist

**Condition of Visible Areas**

Satisfactory

**Visible Subfloor Condition**

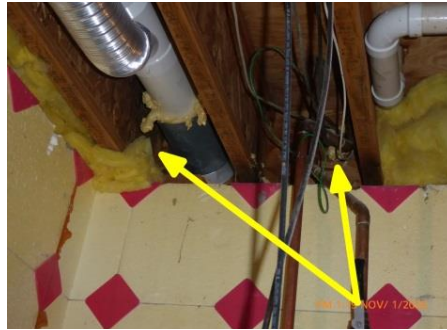
Satisfactory



# BASEMENT

## Insulation | Vapor Barrier

Walls Insulated	Insulation Type	Vapor Barrier Type	Condition of Visible Areas
Yes	Fiberglass Batt	Plastic	<b>Satisfactory</b>
Rim Joists Insulated	Insulation Type	Vapor Barrier Type	Condition of Visible Areas
Yes	Fiberglass Batt	Plastic	<b>Marginal</b>
Floor Joists Insulated	Insulation Type	Vapor Barrier Type	Condition of Visible Areas
No	N/A	Not Visible	N/A



### Comments

Rim joist insulation was missing in certain areas. Recommend adding to increase energy efficiency.

## Electrical

Wiring	Outlets	Receptacles	GFCI Protection
<b>Satisfactory</b>	<b>Safety Hazard</b>	<b>Satisfactory</b>	<b>Safety Hazard</b>



### Comments

The installation of a ground fault circuit interrupter (GFCI) is recommended in unfinished basements and damp locations. A GFCI offers increased protection from shock or electrocution.

Missing receptacle and switch box cover plates should be installed for safety.



# PLUMBING

## Notes | Limitations

We run 150 - 300 gallons of water out of a well during the few hours of a property inspection. As long as we do not see a supply issue or run out of water, the water supply system is probably functional. Some authorities give a figure of 500 gallons of water as average daily usage for a family of four. Remember that water is not consumed uniformly over the day - it is usually consumed in two surges, in the morning and in the evening.

Because a true well flow test or well water draw down test requires that a special pump be attached directly to the well, this test is not normally performed during a pre-purchase home inspection. But this test should be performed if the inspection, building history, or clues suggest that there may be a water quantity problem at the property.

The following plumbing features were not observed in the home:

- Sump Pump
- Internal Fuel Storage System

No visible active piping leaks were observed at the time of the inspection. Water supply valves typically found below plumbing fixtures were not operated. Personal items, clothing or furniture were generally not disturbed during the inspection and may have had limited accessibility and view for inspection.

Drain pipes were evaluated by flushing every drain that has an active fixture while observing its draw and watching for blockages or slow drains. This is not a conclusive test and only a video-scan of the main sewer line would confirm its actual condition.

## Water Service

Type	Shut-off Location	Water Entry Piping	Condition
Municipal	Basement	Copper	Satisfactory
Lead (other than joints)	Flow	Water Distribution Piping	Condition
Unknown	Satisfactory	PEX	Satisfactory
Well Pump Type	Shared Well	Pressure Gauge Operable	Above Ground Condition
Submersible	Unknown	Yes	Satisfactory



Main Shut-off



# PLUMBING

## Comments

Water pressure was within recommended guidelines. Normal residential water pressure should be between 40 and 80 psi. The maximum water pressure for a residence is 80 psi. A standard water pressure is important for ensuring a constant water supply and to prevent leaks.

No visible active piping leaks were observed at the time of the inspection. Water supply valves typically found below plumbing fixtures were not operated. Personal items, clothing or furniture were generally not disturbed during the inspection and may have had limited accessibility and view for inspection.

Recommend verifying age of submersible water pump. Life expectancy is typically 17 to 25 years.

## DRW (Drain Waste Vent) System

Type	DWV Pipe	Support	Condition of Visible Areas
Public Sewer	PVC	Metal	Satisfactory
Proper Traps (P-Type)	Cross Connections	Drainage	
Yes	None Observed	Satisfactory	



## Comments

A professional Home Inspection does not include a test of the septic system. You are advised to consult with a licensed and certified septic inspector for a complete system evaluation.

As stated in the standards of practice this inspector does not inspect the condition of any supply line or waste line from under the slab of the flooring or exterior of the foundation to the septic system including: Gas, water and or sewage. I cannot predict underground conditions and or pipe failure. If a more exhaustive evaluation is desired, it is recommended that a sewer line inspection: including Gas and Water be completed. This separate inspection will show the condition of the buried sewer line from the home to the septic system. Items such as tree roots, broken drain pipes, and other obstructions will be revealed.

## Indirect Water Heater

Manufacturer	Capacity (Gallons)	Serial Number	Age (Years)
Bradford White	80	WD9310685	20

## Notes | Limitations

Montana falls under the Uniform Protection Code's seismic zones 3 and 4, where water heaters are specifically required to be anchored. This requires water heaters to be anchored or strapped to resist horizontal displacement due to earthquake motion.

The code specifies that strapping must be installed at two locations, within both upper third and lower third of the unit's vertical dimension. The lower strap must be at least four inches above the controls.

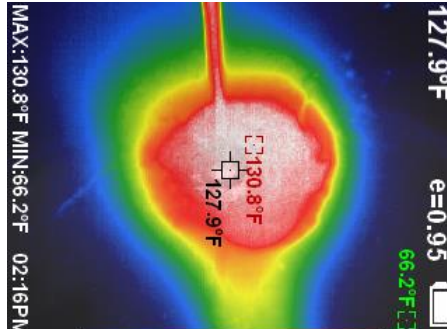
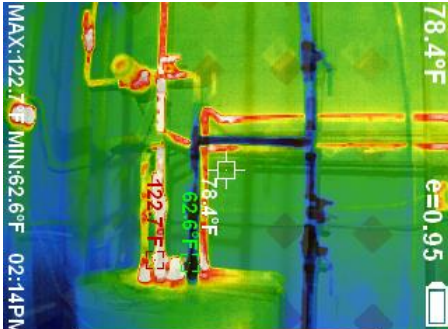
Condition	Water Temperature	Relief Valve	Extension
Marginal	Safety Hazard	Satisfactory	Satisfactory
Seismic Restraint	Wiring	Elevated (If in Garage)	
Marginal	Safety Hazard	N/A	



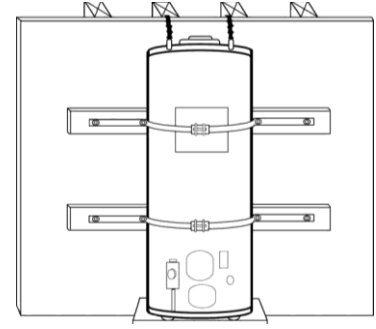
# PLUMBING



Circulation Pump



Measured Water Temperature



Seismic Restraint Straps



Low Voltage Wires



High Voltage Access Panel Removed by Others

## Comments

High water temperature was measured at faucets. Recommend reducing it to 122° to prevent scalding.

A high voltage access panel was not installed. This is a safety hazard. Recommend replacing.

The home had a hot water circulation pump installed. This system provides hot water to taps very quickly. Recommend familiarization regarding controls and maintenance.

Low voltage control wires were not properly encased within the unit. Recommend proper installation to prevent disconnection or damage.

The indirect water heater was marginal and nearing end of its 20-year useful life. Since the unit is approaching this age range, one cannot predict with certainty when replacement will become necessary. Recommend budgeting for a new one.

## Sanitary | Grinder Pump

### Operable

Yes

### Tank Sealed

Yes

### Vented

Yes

### Pipes Leaking

No

### Shut-off Valve

Yes

### Check Valve

Yes

### Overall Condition

Satisfactory

### GFCI Protection

Safety Hazard



# PLUMBING



## Comments

The sump Pump was on Duplex receptacle which was not GFCI protected. Recommend:

- Installing a GFCI outlet and testing regularly. OR
- Install a single dedicated outlet if an accessible GFCI is located within 3 of the non-GFCI protected receptacle.

## Water Conditioner

### Present

Yes

### Plumbing Loop Installed

N/A

### Plumbing Connected

Yes

### Drain Air Gap

Yes

### Pipes Leaking

No

### GFCI Protection

N/A



## Comments

A Professional Home Inspection does not include evaluation of water conditioners. Photos or comments made do not constitute an inspection. The plumbing was checked for leaks and improper connections. None were apparent.

Recommend review of proper operating instructions and conducting periodic maintenance.

# PLUMBING

## Main Fuel Details

Meter Location	Vent Clearance	Fuel Entry Line (Visible)	Condition
Side Exterior	N/A	Black Pipe	Satisfactory
Distribution Line	Condition of Visible Areas	Secondary Distribution Line	Condition of Visible Areas
Black Pipe	Satisfactory	CSST	Safety Hazard



### Comments

I was unable to verify if the Yellow Corrugated Stainless-Steel Tubing (CSST) was bonded. Recommend verifying requirements and if needed, a licensed electrician should bond gas line to the home's grounding system up stream of CSST for safety from lightning strike.

The LP tank was located an adequate distance from the home.

# HVAC

## Boiler System

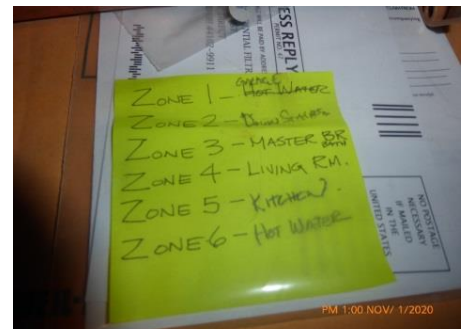
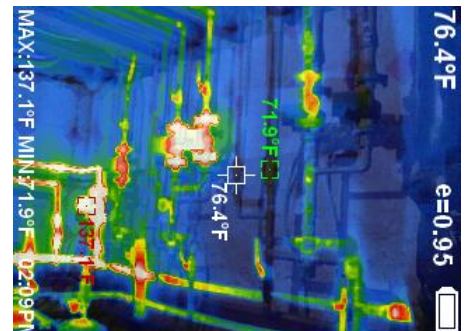
Manufacturer	Model	Serial number	Age (Years)
Weil-McLain	GV90+	CP6656419	9

### Notes | Limitations

The hydronic system had zoned heating. Functionality of this feature is outside the scope of a professional Home Inspection.

A boiler system can only be fully tested by a qualified HVAC technician. A home inspection determines if the system is operating. Recommend obtaining service records from the seller as proof of proper maintenance. If there is no receipt from the past year then service as soon as possible. All readily accessible panels were opened.

<b>Energy Source</b> Gas	<b>Operated</b> Yes	<b>Type</b> Conventional	<b>Overall Condition</b> <b>Satisfactory</b>
<b>Clearances as Specified</b> N/A	<b>Circulator</b> Pump	<b>Combustion Air Venting</b> Yes	<b>Vent   Flue Piping</b> <b>Satisfactory</b>
<b>Distribution</b> Hydronic	<b>Heat Convector</b> Floor	<b>Safety Controls</b> Gas Shut-off      Electrical Disconnect	
<b>Operating Control(s)</b> Thermostat	<b>When Activated</b> Fired	<b>Temperature Rise Noted</b> Yes	<b>Carbon Monoxide</b> Not Tested
<b>Plumbing</b> <b>Satisfactory</b>	<b>Temp./Pressure Gauge</b> Yes	<b>Relief Valve</b> Yes	<b>Extension</b> <b>Satisfactory</b>





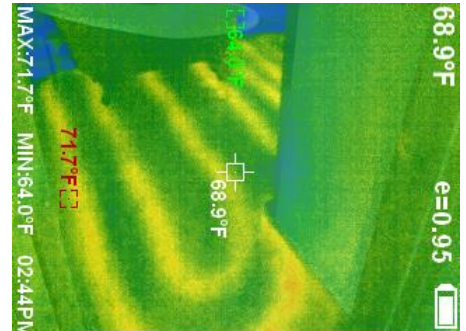
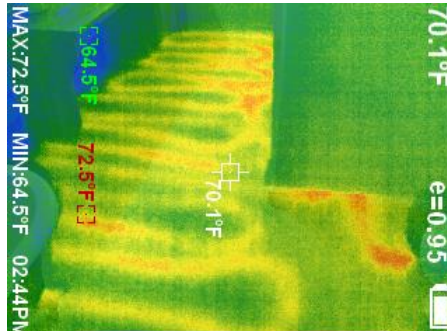
# HVAC



Zone Controller



Radiant Floor Piping Thermal Image



## Comments

Recommend obtaining service records from the seller as proof of proper maintenance. If there is no receipt from the past year then service as soon as possible.

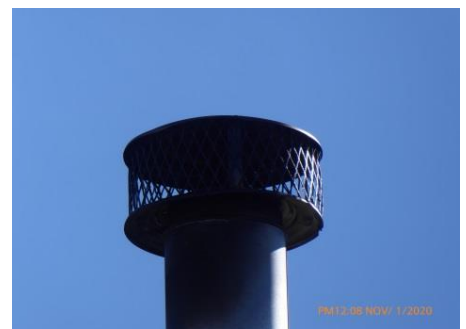
The hydronic floor heating system was testing using thermal image to indicate circulation at the manifolds near the boiler. Floor heat thermal signatures from cement slabs and carpeted flooring cannot be determined in a short period unless the system was in use before and during the inspection. Some imaging is possible on upper floor heat below tiled surfaces. When possible, the images are included in this report.

## Auxiliary Heating System – Solid Fuel Burning Stove

### Notes | Limitations

Solid Fuel stoves can only be fully tested by a qualified technician. The unit was inspected for condition, proper installation and clearances but was not fully evaluated. As per our standards of practice, the inspector does not ignite solid fuel appliances during inspections. All readily accessible panels were opened.

Type	Location	Clearances	Unit Condition
Vented	Garage	Satisfactory	Satisfactory
Operated	Operating Controls	Condition	
Yes	Unit Mounted	Satisfactory	



# HVAC



## Comments

It is recommended that a level 1 chimney inspection be conducted if purchasing a home with a wood burning stove. With a level 1 inspection, a chimney technician will examine the readily accessible portions of your chimney. This means the technician will perform a visual inspection with a flashlight, examining all areas of your chimney and flue that can be viewed without any special tools. Your technician may use common tools such as a screwdriver or pliers to examine any openings, but there should be no damage to any structures or finishes.

- Parts of your chimney that should be examined in a level 1 inspection include:
- Portions of the chimney exterior
- Portions of the chimney interior
- Accessible portions of the appliance and chimney connection

In short, your chimney technician will be examining the chimney to make sure that the basic structure is intact and there are no visible signs of damage. In this inspection, your technician should also verify that there are no obstructions or combustible materials in your chimney.

Contact: Chimney Safety Institute of America. Commercial Drive, Plainfield, IN 46168 US Phone: (317) 837-5362.

Website: <http://www.csia.org>

The clearance label of the garage wood stove was not visible due to wall clearance. I was unable to verify if the wood stove clearances were satisfactory. Recommend that home buyer fully verify wood stove specifications and operation based on manufacturer's specifications.

## Auxiliary Heating System – Solid Fuel Burning Stove

### Notes | Limitations

*Solid Fuel stoves can only be fully tested by a qualified technician. The unit was inspected for condition, proper installation and clearances but was not fully evaluated. As per our standards of practice, the inspector does not ignite solid fuel appliances during inspections. All readily accessible panels were opened.*

Type	Location	Clearances	Unit Condition
Vented	Family Room	Satisfactory	Satisfactory
Operated	Operating Controls	Condition	
Yes	Unit Mounted	Satisfactory	

# HVAC



## Comments

It is recommended that a level 1 chimney inspection be conducted if purchasing a home with a wood burning stove. With a level 1 inspection, a chimney technician will examine the readily accessible portions of your chimney. This means the technician will perform a visual inspection with a flashlight, examining all areas of your chimney and flue that can be viewed without any special tools. Your technician may use common tools such as a screwdriver or pliers to examine any openings, but there should be no damage to any structures or finishes.

- Parts of your chimney that should be examined in a level 1 inspection include:
- Portions of the chimney exterior
- Portions of the chimney interior
- Accessible portions of the appliance and chimney connection

In short, your chimney technician will be examining the chimney to make sure that the basic structure is intact and there are no visible signs of damage. In this inspection, your technician should also verify that there are no obstructions or combustible materials in your chimney.

Contact: Chimney Safety Institute of America. Commercial Drive, Plainfield, IN 46168 US Phone: (317) 837-5362.

Website: <http://www.csia.org>

The clearance label of the garage wood stove was not visible due to wall clearance. I was unable to verify if the wood stove clearances were satisfactory. Recommend that home buyer fully verify wood stove specifications and operation based on manufacturer's specifications.



# ELECTRICAL

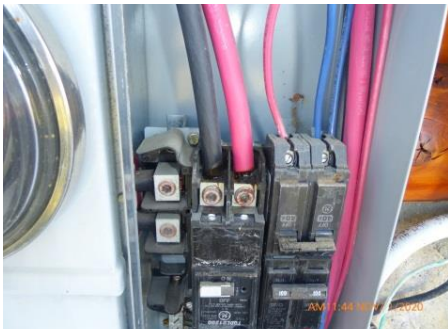
## Notes | Limitations

Issues listed in this and other sections may not include all deficiencies. When further review is recommended, a licensed electrician should fully evaluate electrical aspects for proper installation, safety and operation.

If breakers are in an "OFF" position they were not be operated. Home inspectors do not turn on breakers that are on the off position due to safety reasons.

## Main Panel - Exterior

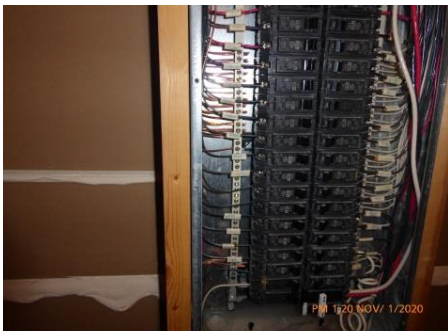
Location	First Means of Disconnect	Panel Clearance	Condition
Service Entrance	Main Panel	Satisfactory	Satisfactory
Grounding Conductor	Panel Grounded	Overcurrent Protection	Condition
Not Visible	Yes	Breakers	Satisfactory
Service Voltage	Service Amperage	Feeder Wiring	Condition
120/240	200	Braided Aluminum	Satisfactory
Receptacle at Panel	GFCI Protection	Branch Wiring	Condition
No	N/A	Braided Aluminum	Satisfactory



# ELECTRICAL

## Panelboard (Sub Panel)

<b>Location</b> Garage	<b>Disconnect</b> Main Panel	<b>Panel Clearance</b> Satisfactory	<b>Condition</b> Marginal
<b>Grounding Conductor</b> N/A	<b>Panel Grounded</b> Yes	<b>Overcurrent Protection</b> Breakers	<b>Condition</b> Satisfactory
<b>GFCI Breakers</b> Yes	<b>AFCI Breakers</b> No	<b>Feeder Wiring</b> Braided Aluminum	<b>Condition</b> Satisfactory
<b>Dual Function AFCI/GFCI Breakers</b> No		<b>Branch Wiring</b> Copper	<b>Condition</b> Satisfactory



### Comments

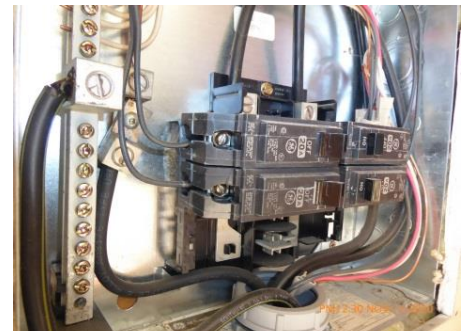
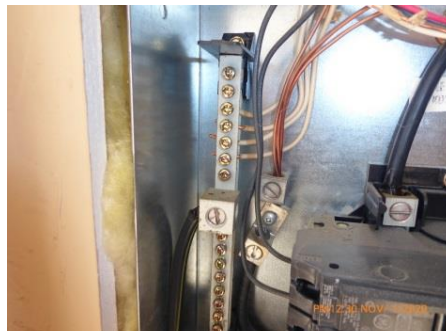
The sub-panel was missing screws. Recommend adding for protection.



# ELECTRICAL

## Sub Panel 2

<b>Location</b> Exterior Wall	<b>Disconnect</b> Main Panel	<b>Panel Clearance</b> Marginal	<b>Condition</b> Safety Hazard
<b>Grounding Conductor</b> Safety Hazard	<b>Panel Grounded</b> Yes	<b>Overcurrent Protection</b> Breakers	<b>Condition</b> Satisfactory
<b>GFCI Breakers</b> Yes	<b>AFCI Breakers</b> No	<b>Feeder Wiring</b> Braided Aluminum	<b>Condition</b> Satisfactory
<b>Dual Function AFCI/GFCI Breakers</b> No		<b>Branch Wiring</b> Copper	<b>Condition</b> Satisfactory



Panel Did Not Fit Flush

Panel Did Not Fit Flush

### Comments

Gasoline stored in close proximity of a sub panel is not recommended due sparking concerns. Recommend repositioning the gasoline.

The panel cover did not fit flush. This is a safety hazard as combustible materials will be exposed if arcing occurs. This is also a concern as the gaps near the breakers are not sealed adequately. Recommend modification with an extension frame or other methods.

The electrical sub panel does not appear to be properly bonded to a ground rod which is required when installed in a separate Building. This should be investigated and added if not installed.



# YOUR INSPECTION

## An Inspection Versus a Warranty

*An inspection is just what the name indicates, an inspection of a home or facility that is being purchased. The purpose of the inspection is to determine the condition of the various systems and structures. While an inspection performed by a competent inspection company will determine the condition of the major components, no inspection will pick up every minute, latent defect.*

*A professional inspector's ability to find issues is limited by access to various parts of the property, lack of information about the property and many other factors. I do my best to determine the condition of the home and to report it accurately. This report is an opinion as to the condition of the home. This opinion is arrived at by the best technical methods available to the home inspection industry. It is still only an opinion.*

*A warranty is a policy sold to the buyer that warrants that specific items in the home are in sound condition and will remain in sound condition for a specified period of time. Typically, the warranty company never inspects the home. The warranty company uses actuarial tables to determine the expected life of the warranted items and charges the customer a fee for the warranty that will hopefully cover any projected loss and make a profit for the warranty seller. It is essentially an insurance policy.*

*The service that I have provided you is an inspection. Truer LLC makes no warranty of this property. If you desire warranty coverage, please see your real estate agent for details about any warranty plan to which their firm may have access.*

*For additional information visit: <http://truerllc.com/home-inspection-help/>*

*Thank You!*

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